

# Design Guidelines - Stage 5.

## 1. INTRODUCTION

Waimakariri District Council (WDC) and Ravenswood Developments Ltd (Ravenswood) have in place a number of rules and covenants that effect the development of sections at Ravenswood.

The covenants offer you peace of mind in the knowledge that your neighbors are also required to meet the same minimum standards, protecting the built and landscape features and amenities of the development.

This document summarizes the main requirements, but for full details please refer to the relevant sections of the WDC District Plan and covenants applying to the Lot you have purchased.

If we can be of further assistance in helping your design process, please contact us on (03) 375 0010.

## 2. SECTION SPECIFICATIONS

- All Lots are TC2 equivalent;
- Each Lot will connect to reticulated stormwater;
- Each Lot will connect to reticulated (gravity) wastewater;
- Each Lot will connect to underground power;
- Street lights throughout development;
- Telecommunications provided by fibre (Enable) - allowing fast broadband.

## 3. HOUSE DESIGN RULES

All house designs must meet the requirements detailed below and your plans need to be approved by Ravenswood prior to seeking building consent from WDC.

Requirements have been negotiated with WDC for this development - with the aim of allowing higher density and more affordable housing than the standard zone rules would otherwise permit (in the absence of the Medium Density Residential Standards (MDRS)), whilst at the same time ensuring that street appeal is maintained and neighbours are not unduly impacted.

Please note that the introduction of MDRS **does not** override the requirements of Ravenswood's Covenants and these Design Guidelines. Dwellings must comply with Ravenswood Covenants and these Design Guidelines. Ravenswood may at its sole discretion nominate certain areas within Stage 6 (Lots 1001-1025 & Lot 1103) and Stage 7 (Lots 1273 - 1288) where development in accordance with the MDRS provisions will be allowed despite Ravenswood's Covenants and these Design Guidelines.

In these guidelines "Medium Density Residential Standards" or "MDRS" means the requirements, conditions and permissions set out in Schedule 3A of the Resource Management (Enabling Housing Supply and Other Matters).

### **Rules for Lots 400m<sup>2</sup> or greater (Appendix 1)**

- Maximum Building Site Coverage: 35%
- Maximum Height: 8m
- Minimum Setback from Road Boundary: 2m
- Minimum Setback from Side Boundary: no rule
- Minimum Setback from Rear Boundary: no rule

### **Rules for Lots 400-600m<sup>2</sup> (Appendix 2)**

**As an alternative to the above, Ravenswood has obtained consent for higher site coverage than permitted by the Council district plan if your Lot is in the 400-600m<sup>2</sup> size range:**

- (a) Maximum Building Site Coverage: can be increased to 40% if additional rules met as per below.
- (b) Maximum Height: 5.5m
- (c) Minimum Setback from Road Boundary: 2m to dwelling and 3m to garage or carport (garage or carport must be setback a minimum of 1m from dwelling).
- (d) Any garage or carport erected on the lot shall be located at least 1 meter further from the street frontage than the main front façade of the dwelling, except where a side garage is constructed in compliance with clauses (e) & (f).
- (e) The side wall of any garage erected on the site adjacent to the road boundary shall not exceed 50% of the lot frontage or 6.5 meters in length, whichever is lesser.
- (f) For any garage where a side wall is adjacent to the road boundary, the side wall shall contain a minimum of 2sqm of glazing or contrasting materials.
- (g) Minimum Setback from Side Boundary:
  - i. 1m on one side;
  - ii. no limit on other side, except if within 1m of boundary the structure shall not exceed 10m in length without a step in (of minimum 0.5m in depth x 2.5m in length).
- (h) Front door must face and be visible from the street.
- (i) Minimum glazing (window) area of 3m<sup>2</sup> facing the street.
- (j) Minimum outdoor living space of 30m<sup>2</sup> (minimum dimensions of 4m and 6m) with half the area and the access point able to receive sunshine at midday on the shortest day of the year.
- (k) All land between the dwelling and the street, except in areas required for vehicle or pedestrian access shall be landscaped.

### **Recession Planes**

Recession planes apply to all residential Lots to protect your exposure to sun and ensure you are not excessively shaded-out by neighboring buildings. The building must fit within a recession plane that starts 2.5m above the boundary and extends into the Lot at a slope of between 35 and 55 degrees to horizontal (depending on which direction the boundary faces). Refer WDC District Plan or diagrams in Appendix 1-2 for more details.

### **Outdoor Storage Area for Rubbish Bins**

Ideally the design should allow an area of sufficient size at the side or rear of the dwelling for storage of rubbish bins, of minimum size of 3m x 1.5m.

If this is not possible and bins are to be stored at the front between the dwelling and road boundary, the design must provide for the 3m x 1.5m area to be screened behind 1.8m high timber or trellis fence facing the street.

### **Other Conditions**

- Only one house per Lot with minimum size of 90m<sup>2</sup> (inclusive of garage).

- No relocatable buildings are allowed (unless otherwise approved by Ravenswood).
- All buildings must be constructed from new or high quality recycled materials (unless otherwise approved by Ravenswood).
- Exterior wall cladding (excluding gable ends and trim) shall be either timber, concrete block, local stone, weatherboards, brick or textured plaster - and finished in their natural colour, neutral tones, or coloured earthy mid-tones (unless otherwise approved by Ravenswood).
- There shall be no copper, galvanised, unpainted zincalume, or any other unpainted metal on roof material, gutters, down pipes or external cladding. This is to limit the discharge of potentially harmful copper or zinc into the downstream aquatic environment, and a condition of the development's stormwater discharge consent.

#### **4. FENCING REQUIREMENTS**

- Side and rear fences must be erected prior to any building construction unless otherwise agreed by Ravenswood.
- All rear and side boundaries should be fenced to a height of 1.8m. A lower height at the street frontage of 1.2m transitioning up to a 1.8m height (for a minimum of 2m from the road boundary) is required.
- There shall be no fencing across the street frontage of any Lot unless otherwise approved by Ravenswood. It is a WDC requirement that for all Lots less than 400m<sup>2</sup> or greater than 35% site coverage, any front fencing must be no higher than 1.2m and have a minimal visual permeability/openness of 50% (e.g. Warner fence).
- Any Lot which abounds a reserve must be fenced to a maximum height of 1.2m and have a minimum visual permeability/openness of 50% (e.g. Warner fence) - except where required to screen a bin storage area unless otherwise approved by Ravenswood.
- All fencing proposed shall be shown on the landscape or site plan provided as part of the plan approval process.
- The landowner of lots 760 to 774, lots 834 to 843, and lots 916 to 957 shall pay the full costs of fencing the common boundary with the future Council local purpose (drainage) reserve.

#### **5. LANDSCAPING REQUIREMENTS**

A landscape plan, including fencing details, must be prepared and submitted with house plans as part of the Ravenswood approval process detailed in Section 6.

Ravenswood is generally expecting to see a degree of attractive landscaping at the front of all houses facing the street to help create an appealing streetscape for all residents. For all Lots less than 400m<sup>2</sup> or greater than 35% site coverage, WDC requires all land between the dwelling and the street, except in areas required for vehicle or pedestrian access, to be landscaped.

There are limits on how high any tree or shrub can be depending on the distance from the boundary. Please see the Land Covenants for further details.

Landscaping is to be completed within three months of the dwelling receiving code of compliance.

#### **6. PLAN APPROVAL PROCESS**

##### **Applying for Approval**

An application for design approval must be submitted to Ravenswood prior to applying for your building consent to the Waimakariri District Council. A bond of \$2,000 is payable to Ravenswood Developments Ltd when an application for design approval is submitted.

In the event that the design approval application and bond payment are not submitted prior to the start of construction, the Developer reserves the right to charge a \$250 administration fee to process the delayed development approval application.

Sample documents to assist you in preparing your design application can be found on the Ravenswood

website at [www.ravenswood.co.nz/documentation](http://www.ravenswood.co.nz/documentation):

- Application cover letter;
- Approval checklist;
- Exterior finishes checklist;
- Sample building plans;
- Construction Bond Agreement and bond payment.

### **Refund of Bond**

The bond will be returned on confirmation from Ravenswood that no amounts are owing and on completion of the following:

- The building must be completed and site landscaped in accordance with the approved plans.
- The site is left in a tidy condition.
- Any remedial or reinstatement works associated with the construction (e.g. kerbing) have been completed.
- All covenants and conditions have been complied with throughout the construction process.

Where the above requirements have not been met, Ravenswood may recover the cost for repairs, correspondence and administration from the bond prior to releasing it to the Lot owner.

The Lot owner should advise Ravenswood when they consider the works are complete and the bond is due for refund. Ravenswood will complete an inspection as soon as possible, and if in agreement refund the bond promptly.

## **7. RULES DURING CONSTRUCTION OF YOUR HOUSE**

These are fully detailed in the Building Covenants. In summary:

- Construction noise must be limited to reasonable hours and not be at an unacceptable level.
- Side and rear fences must be erected prior to any building construction.
- Erosion and sediment control measure must be in place.
- No animals on site during construction.
- Appropriate rubbish disposal measures must be in place.
- Limits on washing down construction vehicles and requirements to handle any spillage.
- Limits on builder's signage.

## **8. BUILDING & SELLING**

Construction of a dwelling house must commence within two years of settlement of purchase, unless otherwise approved by Ravenswood.

No Lot shall be on-sold to another party until a house has been constructed, unless otherwise approved by Ravenswood.

### **DISCLAIMER**

The information contained herein is true and correct to the best of Ravenswood Developments Limited's knowledge. However, Ravenswood Developments Limited, its directors, employees, advisers and agents do not make any representation or warranty, express or implied, as to the accuracy, reliability or completeness of the information contained in this document. All compliance with covenants, consent conditions, building regulations, territorial authority requirements and any other statutory requirements is the responsibility of each Lot Owner and you should seek your own professional advice.

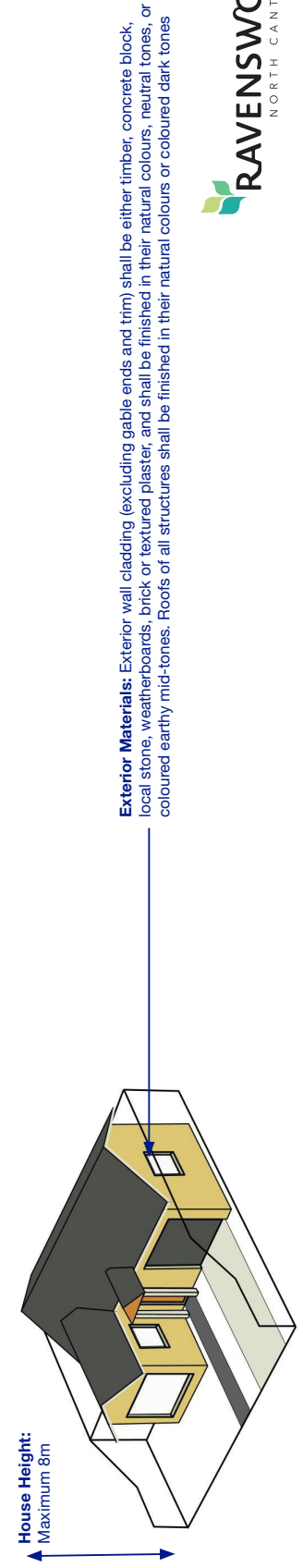
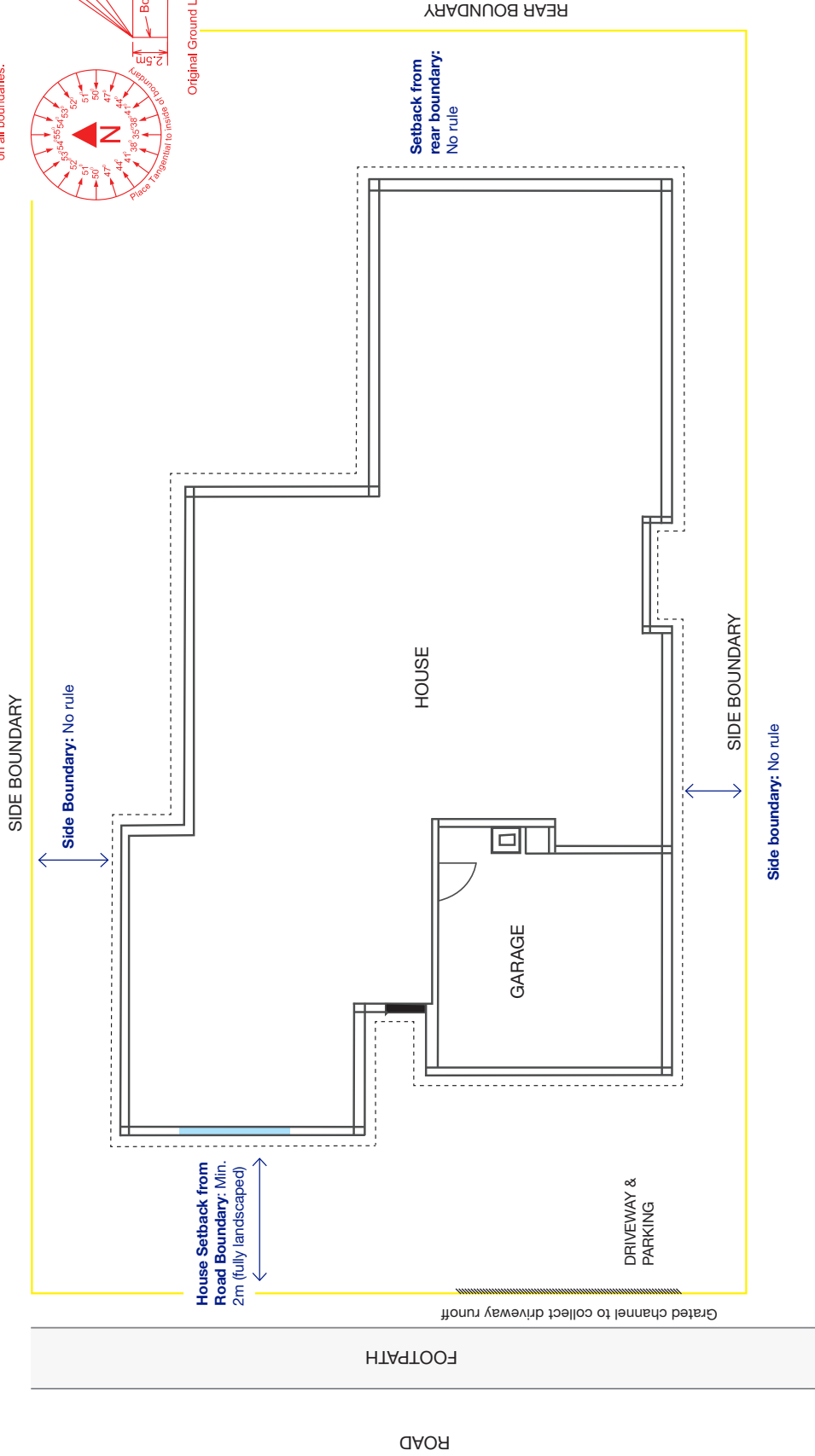
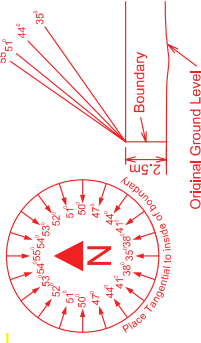


# APPENDIX 1: DIAGRAM SHOWING MAIN RULES

## Lots of 400m<sup>2</sup> or greater and no more than 35% site coverage

**MAXIMUM SITE COVERAGE: 35%**  
 \* Excluding eave, pergola or deck

Building to be within recession plane on all boundaries.



This is not an exhaustive list and should be read in conjunction with the District Plan rules, any subsequent land use consent, and the Ravenswood Land Covenants and Design Guidelines

